

Memo



Date: September 7, 2011

To: City Manager

From: Land Use Management, Community Sustainability

Application: DP11-0150

Owner: 0904416 B.C. Ltd.

Address: 773 Glenmore Dr.

Applicant: New Town Planning Services Inc.

Subject: Development Permit

Existing OCP Designation: Multi Unit residential - Medium Density

Existing Zone: CD3 - Comprehensive Development Three

1.0 Recommendation

THAT Council authorize the issuance of Development Permit No. DP11-0150 for Lot B, Sec. 29, Twp. 26, O.D.Y.D., Plan KAP70320 Exc. Air Space Plan KAP73723, located on Glenmore Drive, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land, be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. The applicant be required to post with the City, a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;

2.0 Purpose

The new owners of the Conservatory project wish to make minor amendments to Phase 1 of the previously issued Development Permit in order that the building currently under construction on the subject property can be completed and an occupancy permit obtained.

A handwritten signature in blue ink, located in the bottom right corner of the page.

3.0 Land Use Management

The 'Conservatory' project has been on hold since 2008, when the project was placed into receivership. Staff have been working with the receiver and the new purchaser to review the required steps to finish the partially constructed apartment building in order to obtain an occupancy permit. The completion of this building is a welcomed addition to this intersection and Staff are eager to facilitate site occupancy to enhance the aesthetics and streetscaping for this visually prominent location. As the build-out will be phased, it has been determined that it is necessary to construct a new elevator tower and a parking structure to complete phase 1. As part of this amended Development Permit, the applicant is taking measures to improve the appearance of the two blank concrete firewalls that are visible to the south end of the partially constructed apartment building. The applicant's architect is proposing to finish the walls with the same colour of wall finish as the adjacent finished wall areas, including the detail bands that occur along the wall faces. The proposed addition of the parking structure and surface parking areas will satisfy the immediate parking required by the finished building.

Staff will still have to work with the new owners to determine an appropriate development plan for the remainder of the site that acknowledges financial feasibility while also meeting with the prescribed land uses and design guidelines identified in the Official Community Plan. Any change to the previously approved development plan will trigger amendments to the Comprehensive Development zone as well as new development applications.

In summary, completion of this first phase of this unfinished development site is beneficial to the immediate neighborhood and community at large given the uncompleted status for a number of years. Occupancy of the building to provide activity and vibrancy to this site will be valuable, and catalyze momentum for future phases to be realized and for the entire site to be completed to a standard that was envisioned for this parcel during the original comprehensive development approval.

4.0 Proposal

4.1 Background

The vision for the Conservatory project was originally started by applications for an Official Community Plan amendment and text amendment made in 1997. These applications created the CD3 - Comprehensive Development Three zone that regulated the form of the development on the site. The original CD3 zone was amended in 2001 to add the "conservatory" component to the CD zone as part of the first phase. In 2001 a Development Permit was issued and application for the building permit was made in 2002, and was issued in 2005.

4.2 Project Description

This Development Permit proposes to amend the issued Development Permit (DP01-10,038) in order to allow the building to be completed and an occupancy permit issued. The intent is to allow the units already constructed to be occupied to generate revenue, while a new development plan is considered for the remainder of the site.

Development Permit DP01-10,038 was issued for the first part of phase 1, and authorized development of 99 residential units. As part of this submission to revise the issued Development Permit, the unit yield has been increased to 108 residential units, made possible by reconfiguring the amenity space into additional residential units.

The amendments proposed to the issued Development Permit are limited to the addition of an elevator tower to the south end of the building, and the addition of a new parking garage to the north east corner of the constructed building.

a) Parking Structure and Surface Parking;

The applicant is proposing to construct a two level parking structure to provide 51 parking stalls, as well as to add 147 stalls of surface parking stalls north of the building. This surface parking is anticipated to be an interim measure until the area is developed in a more comprehensive manner in future phases. The parking garage is designed as a two storey structure with the lowest floor level set below grade, and the upper floor at the finished grade at the north end of the building. The roof of the parking structure is designed to be a landscaped area to improve the view from higher elevation buildings located across Valley road and on Dilworth Mountain. The exterior of the parking structure is designed to be finished with painted concrete and details to complement the stucco finishes of the apartment building, and a metal architectural screen material to provide security to the parking structure. The detailing of the concrete structure has been designed to replicate architectural details of the apartment building design.

b) Elevator Tower

The elevator shaft is designed as a new tower element added to the south end of the phase one building, and is required to meet building code requirements (originally the additional elevator was proposed to be constructed in the second part of the phase one building). The applicant is also proposing to finish the exposed concrete firewall with stucco in the same colour and texture as the adjacent wall area in order to continue the wall finishes and detailing. A similar treatment is also proposed for the firewall adjacent to Glenmore Drive.

There has also been a revised landscape plan submitted which includes plantings along the north side of the building, as well as west and east sides of the existing apartment building. The plan also indicates a row of trees planted along the new driveway and to the east side of the new parking lot. There is also a planting plan for the roof area of the new parking structure designed to provide additional outdoor amenity space for the building residents and to add more green space to the development site. The landscape plan also provides for a swimming pool and hot tub to the internal court surrounded on three sides by the apartment building construction.

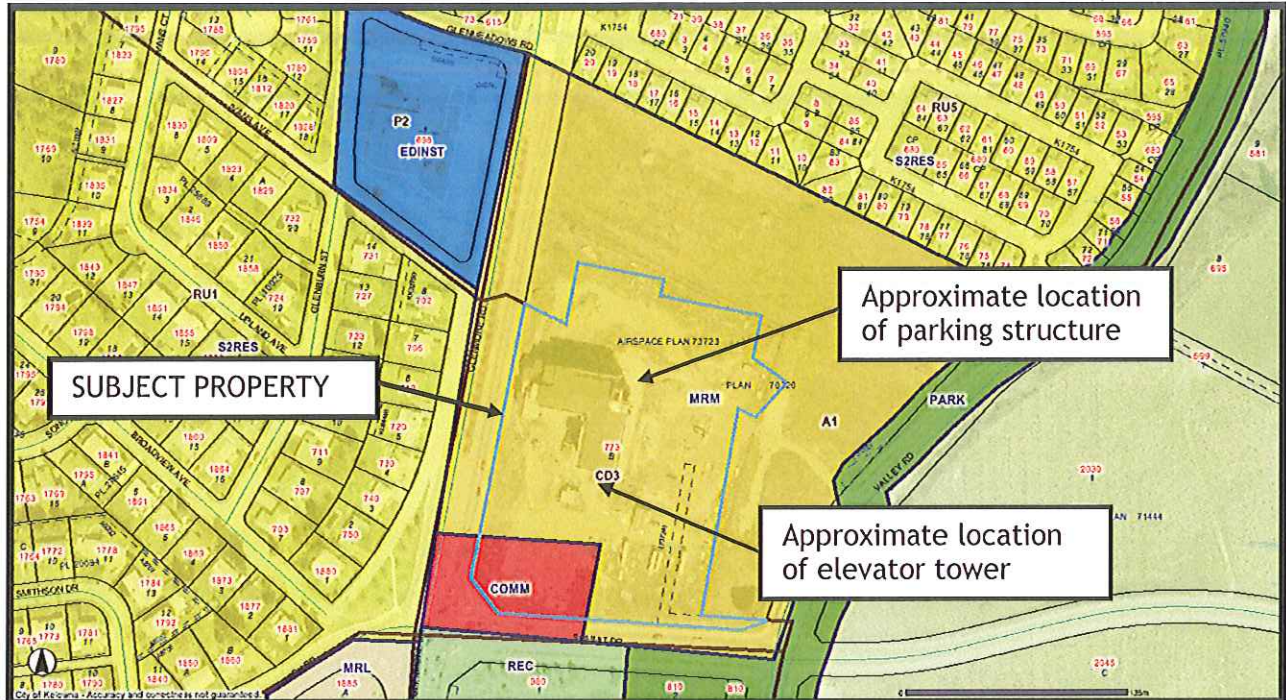
4.3 Site Context

Adjacent zones and uses are, to the:

- North - A1 - Agriculture 1 / Vacant
- East - A1 - Agriculture 1 / Vacant
- South - P3 - Parks and Open Space / Summit Dr, Golf and Country Club
- West - RU1 - Large Lot Housing zone / Glenmore Dr. - single unit residential
P2 - Education and Minor Institutional / Glenmore Dr. - Church uses

Subject Property

773 Glenmore Drive



4.4 Zone analysis

Zoning Analysis Table		
CRITERIA	PROPOSAL	CD3 ZONE REQUIREMENTS
Subdivision Regulations		
Lot Area	28,442 m ²	N/A
Lot Width	140 m	N/A
Lot Depth	180 m	N/A
Development Regulations		
Site Coverage	Buildings 12% Bldg/Dwy/Parking 14%	Buildings 40% Bldg/Dwy/Parking 60%
Floor Area Ratio	0.6 (constructed portion)	Max. 1.5 with housing agreement
Height	6½ storeys/33m	6½ storeys or 33m
Front Yard (Summit Dr)	85 m	7.5 m to residential uses
Side Yard (west) Glenmore Dr.	7.5 m	7.5 m to residential uses
Side Yard (east)	65 m	0.0 m
Rear Yard	26 m	0.0 m
Other Regulations		
Minimum Parking Requirements	198 stalls provided 51 stalls - parkade 147 stalls - surface	37 - 2 br = 55.5 71 - 3 br = 142 198 stall required

Bicycle Parking	108 units Class 1 - 54 provided Class 2 - 11 provided	Class 1 - 0.5/unit Class 2 - 0.1/unit
Private Open Space	Swimming plaza - 700m ² Parking garage roof - 800m ²	20m ² per unit = 216 m ² required

5.0 Current Development Policies

5.1 Kelowna Official Community Plan 2030 (OCP)

Authenticity and regional expression¹

1.3 Respond architecturally to summer sun with buildings that have overhangs and recesses of sufficient depth to provide comfort and shade;

1.4 Incorporate materials that relate to the character of the region and the context of the surrounding neighbourhood;

1.5 Use colours found in the region's natural and cultural landscape;

1.6 Provide generous outdoor spaces, including rooftops, balconies, patios and courtyards, to allow residents to benefit from the favourable Okanagan weather;

Context²

2.2 Address phasing when the area is designated for more intensive development and the development proposes to deviate from existing form and character (e.g. blank firewalls should be adequately detailed to provide visual interest in the interim);

2.3 Design new multi-storey buildings to transition in height where the OCP land use designation provides for smaller structures on adjoining lots;

2.7 Design developments with multiple buildings such that there is a sense of architectural unity or cohesiveness.

Relationship to the street³

3.1 Locate buildings to provide an effective street edge while respecting the established, desired streetscape rhythm;

3.2 Develop visual and physical connections between the public street and private buildings (e.g. patios and spill-out activity, views to and from active interior spaces, awnings and canopies);

Massing and Height⁴

4.2 Ensure developments are sensitive to and compatible with the massing of the established and/or future streetscape;

4.3 Design developments with multiple, separate buildings such that individual buildings are of different but compatible shapes, masses, and exterior finishes;

Exterior elevations and materials⁵

6.1 Exterior building materials should be selected for their functional and aesthetic quality, and should exhibit qualities of workmanship, durability, longevity and ease of maintenance;

¹ City of Kelowna Official Community Plan 2030, Page 14.3

² City of Kelowna Official Community Plan 2030, Page 14.3

³ City of Kelowna Official Community Plan 2030, Page 14.4

⁴ City of Kelowna Official Community Plan 2030, Page 14.4

⁵ City of Kelowna Official Community Plan 2030, Page 14.5

6.2 Provide visually prominent, accessible, and recognizable entrances through attention to location, details, proportions, materials, and lighting that act to personalize or lend identity to a building;

6.3 Continue higher quality materials used on the principal façade around any building corner or edge which is visible to the public;

Decks, balconies, rooftops, and common outdoor amenity space⁶

10.1 Incorporate decks, balconies and common outdoor amenity spaces into developments;

10.3 Integrate vents, mechanical rooms and equipment, and elevator penthouses with the architectural treatment of the roof, and/or screen these elements with materials and finishes compatible with the building's design;

10.4 Enhance large, flat expanses of roof (whether actively used or not) with texture, colour, and/or landscaping.

6.0 Technical Comments

6.1 Building & Permitting Department

Full plan check required at time of building permit application. The architect to provide exit dimensions and a revised code analysis for the entire structure (combined existing and proposed structures).

6.2 Development Engineering Department

Development Engineering has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

1. Water

- a) The property is located within the Glenmore Ellison Irrigation District (GEID) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw.

2. Sanitary Sewer

- a) Our records indicate the property is serviced with a 200mm service which should be adequate for this application.

3. Drainage

- a) Our records indicate the property is serviced with a 200mm and 300mm service. One service must be abandoned and the service should be adequate for this application.
- b) A comprehensive site drainage management plan and design to comply with the City's drainage design and policy manual is a requirement of this application but can be deferred until the application for a building permit is made.

⁶ City of Kelowna Official Community Plan 2030, Page 14.8

4. Geotechnical Report

As a requirement of this application and building permit approval the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- a) Area ground water characteristics, including water sources on the site.
- b) Site suitability for development; i.e. unstable soils, foundation requirements etc.
- c) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- e) Additional geotechnical survey may be necessary for building foundations, etc.

5. Power and Telecommunication Services.

The services to this development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

6. Road improvements.

Glenmore Drive

The Glenmore Drive frontage is to be designed and constructed to full urban standard which includes sidewalk and the relocation and/or removal of existing utilities as may be required. Dedication will be required to accommodate the sidewalk.

Summit Drive

The Summit Drive frontage is to be designed and constructed to full urban standard which includes sidewalk and the relocation and/or removal of existing utilities as may be required. Dedication will be required to accommodate the sidewalk.

7. Design and Construction.

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.

- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

8. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings or reports and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

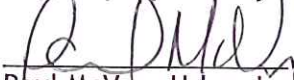
6.3 Fire Department

Fire department access, fire flows of 150ltr/sec, and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw #7900. A building code analysis is required. Additional comments will be required at the building permit application.

7.0 Application Chronology

Date of Application Received: August 19, 2011

Report prepared by:


Paul McVey, Urban Land Use Planner

Reviewed by:



Danielle Noble Manager, Urban Land Use Management

Approved for Inclusion:



Shelley Gambacort, Director, Land Use Management

Attachments:

Subject Property Map

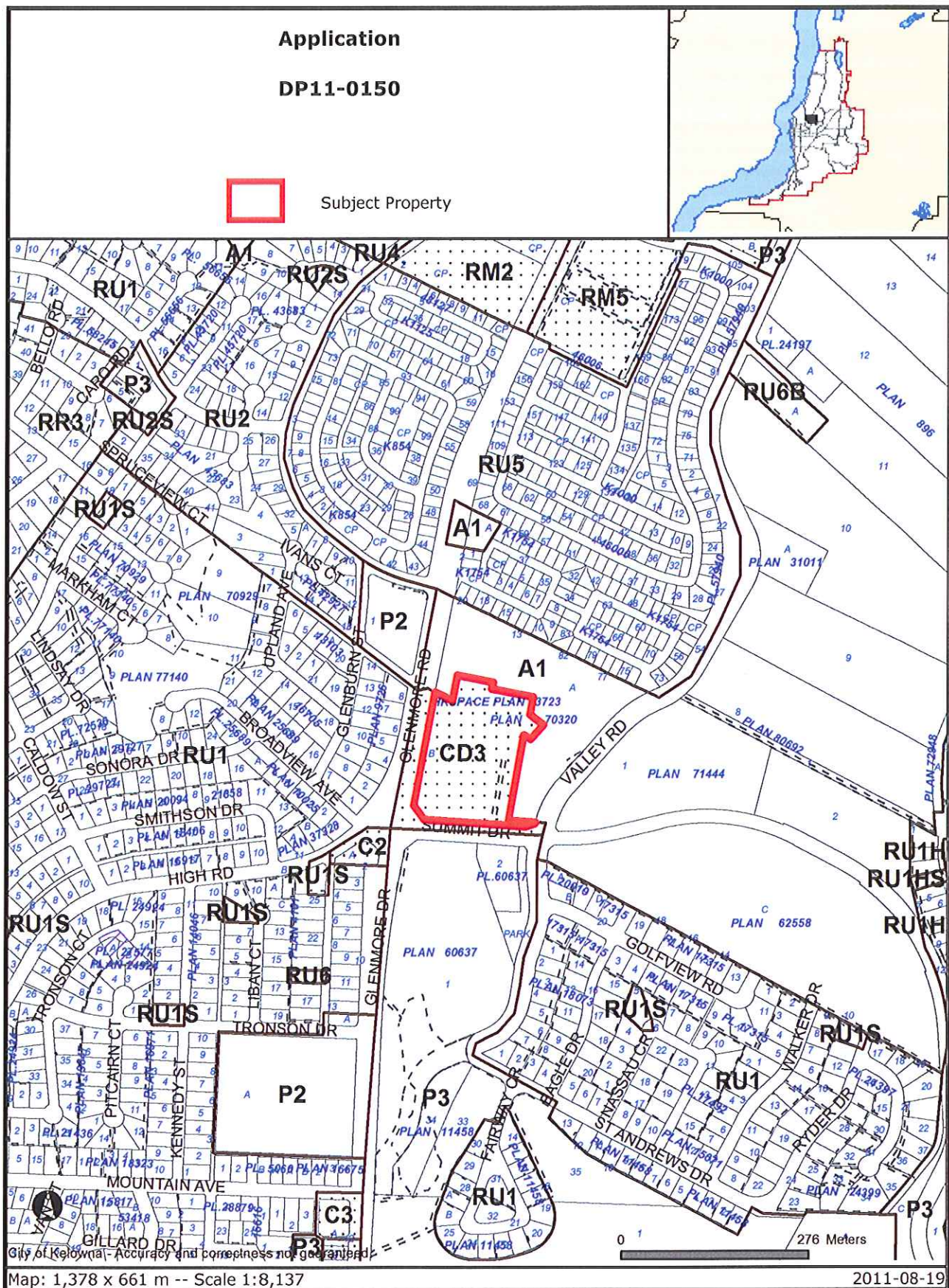
Site Plan

Applicant Rationale Letter

Conceptual Elevations

Landscape Plan

Context/Site Photos



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



Valley Road 1



Valley Road 3



Glenmore Dr. 1 near Summit



Glenmore Rd 4, north of site

Notes:
 1. This drawing is a site plan and should not be used for construction purposes.
 2. All dimensions are in meters unless otherwise stated.
 3. The site is shown in grey hatching.
 4. The building footprint is shown in white with black outlines.
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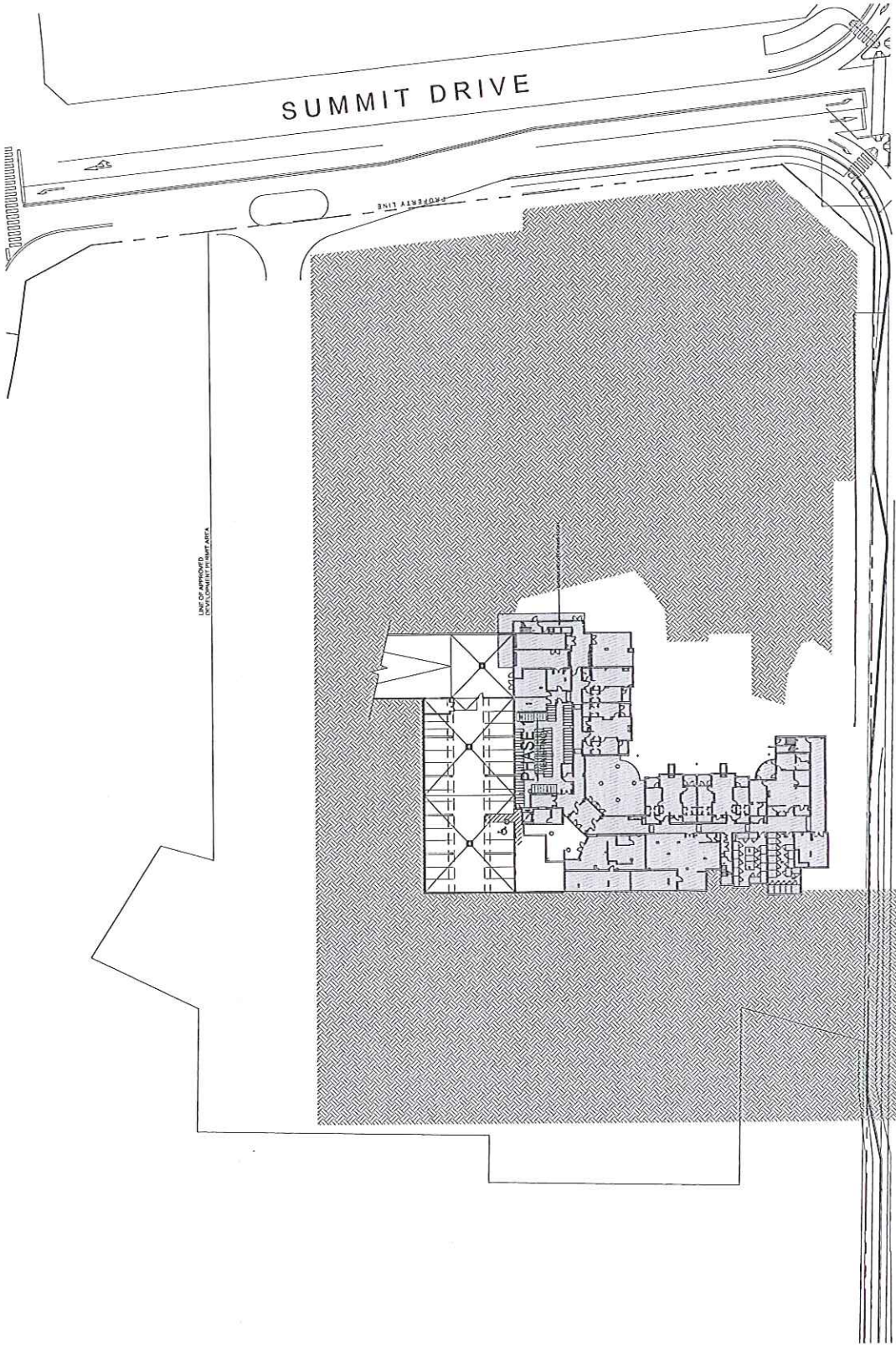
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PROJECT No. 2011-001
 773 GLENMORE DRIVE
 KILLOWAY, BRITISH COLUMBIA
 PROJECT No. 2011-001

DATE: 10/11/11
 DRAWN BY: JLD
 CHECKED BY: JLD
 SCALE: 1/8"=1'-0"

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August 16, 2011 08:17 PM



SUMMIT DRIVE

GLENMORE ROAD

PHASE 1

PROPERTY LINE

LINE OF APPROXIMATE PROPERTY LINE

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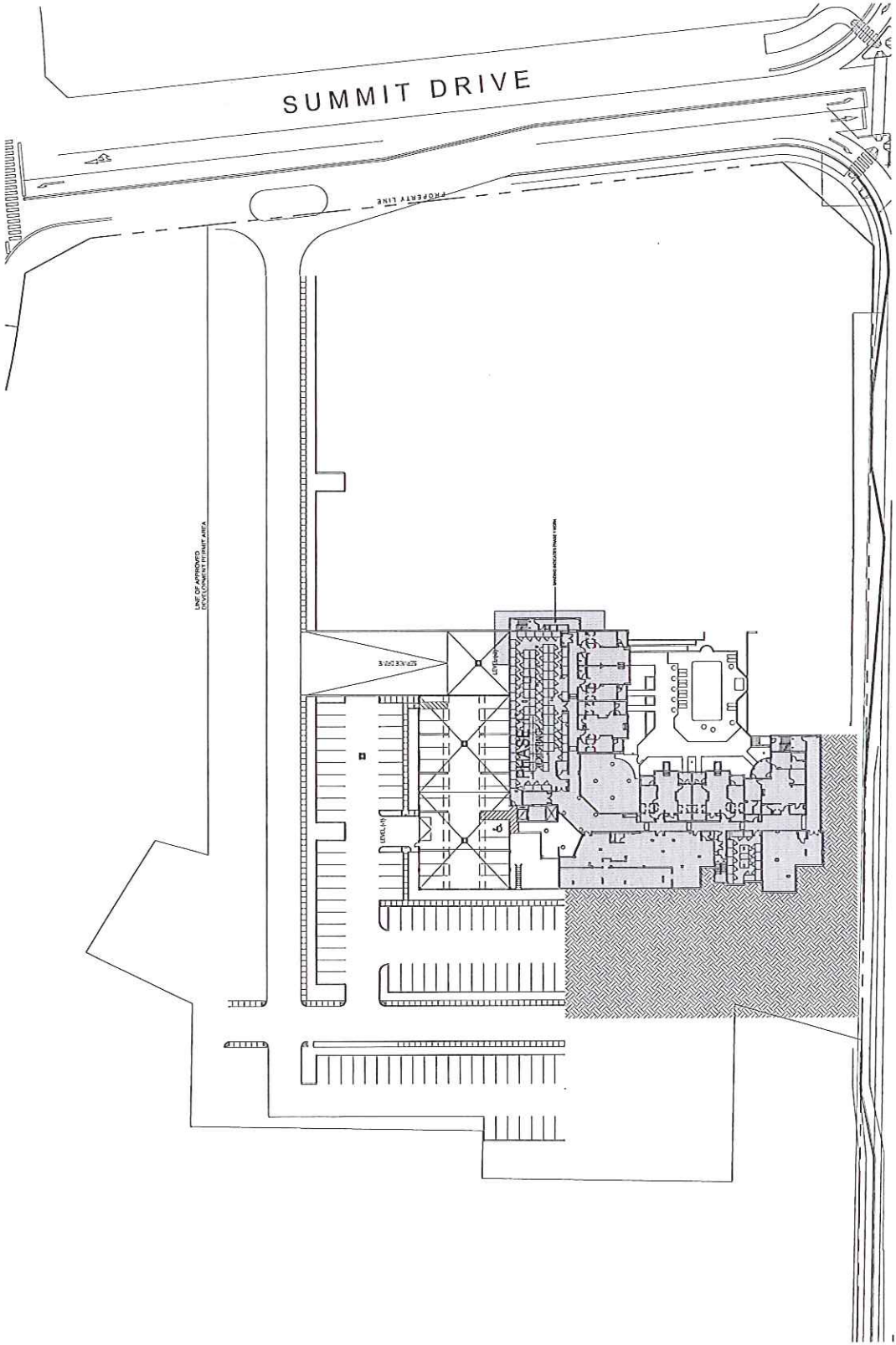
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PROJECT: 210 GLENMORE DRIVE
 LOCATION: KILLOWAN, BRITISH COLUMBIA
 DRAWING NO.: 210

SITE:
 PHASE (1-2)
 LEVEL (-1)
 SCALE: 1/8"=1'-0"

A1.02

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SCHEDULE "A"
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 Permit # DP11-0150

ISSUED FOR DEVELOPMENT PERMIT
 2011-04-07
 2011-04-07
 No. Site Design



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Project No. 77A GLENMORE DRIVE

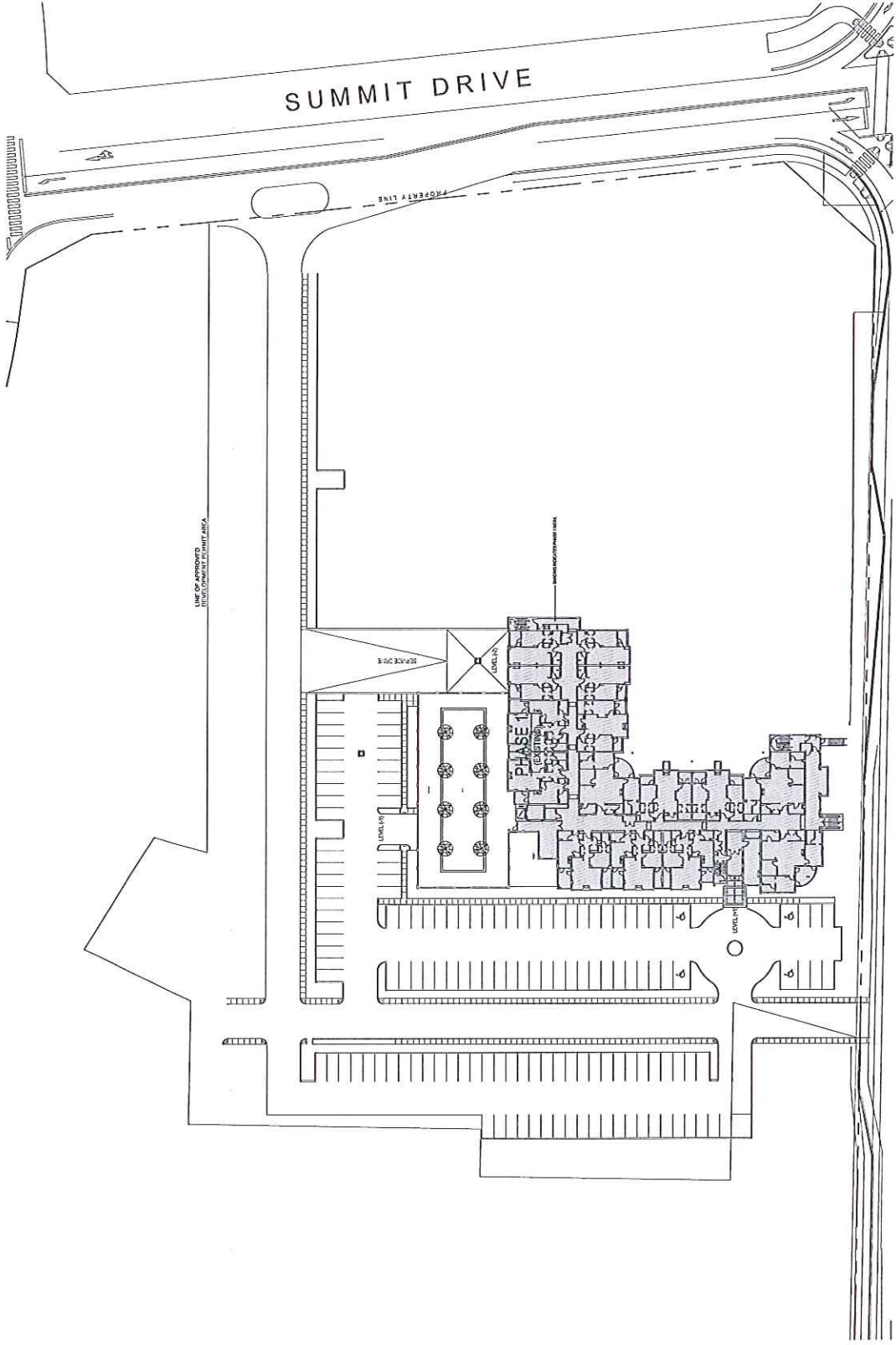
77A GLENMORE DRIVE
 VELOVIA, BRITISH COLUMBIA
 Project No. 3210

SITE: PHASE 1(2), LEVEL (1)

Scale	1:225 (1"=10')
Author	PS
Check	AG
Drawn	PS

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GLENMORE ROAD

Note:
 1. All dimensions are in millimeters unless otherwise specified.
 2. All dimensions are to the centerline of the member unless otherwise specified.
 3. All dimensions are to the finished surface unless otherwise specified.
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 08 2016-05-10 REVISION FOR DEVELOPMENT PERMIT
 07 2016-04-15 REVISION FOR DEVELOPMENT PERMIT
 06 2016-03-15 REVISION FOR DEVELOPMENT PERMIT
 05 2016-02-15 REVISION FOR DEVELOPMENT PERMIT
 04 2016-01-15 REVISION FOR DEVELOPMENT PERMIT
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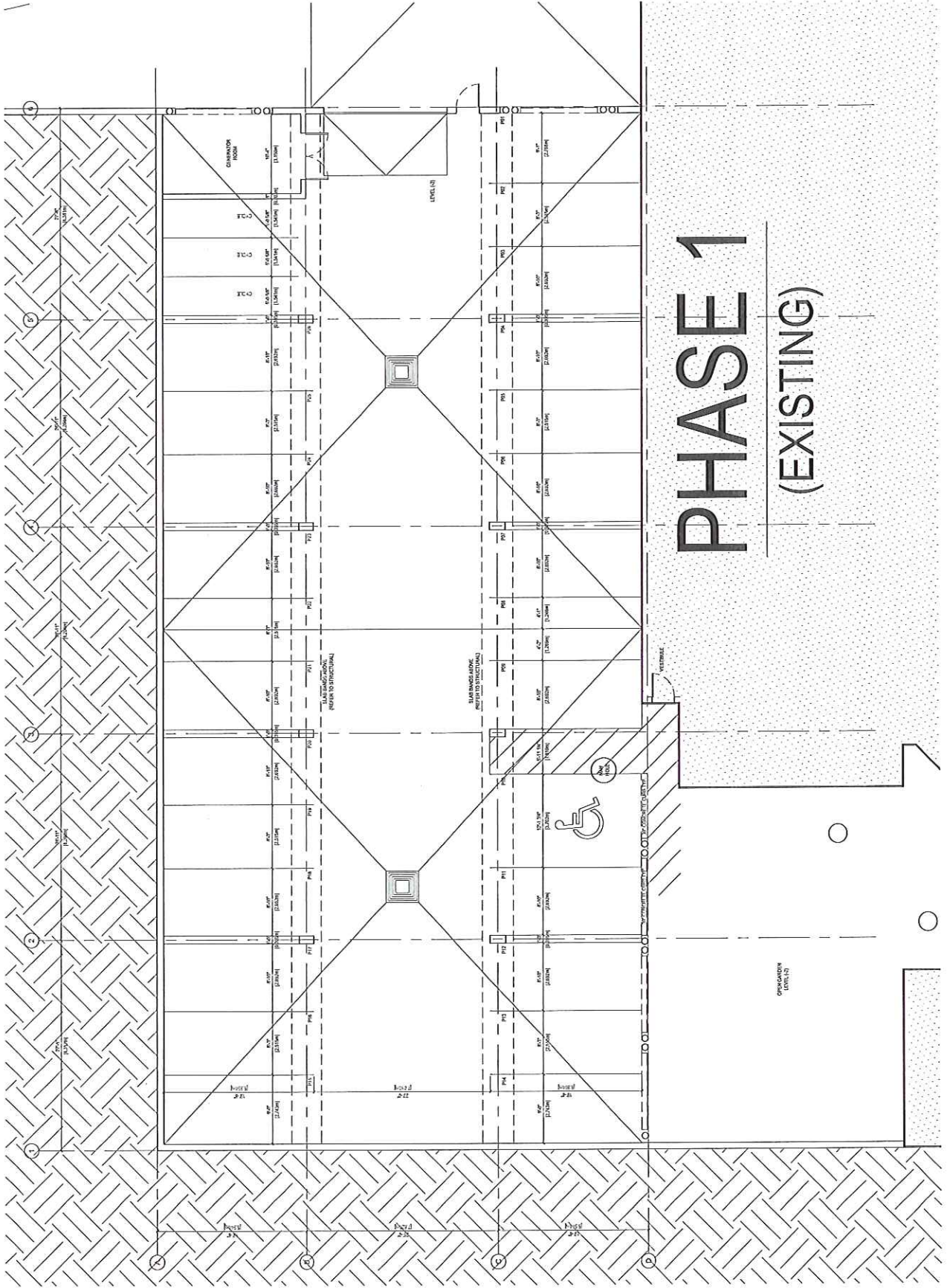
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Project Name: 770 GLENMORE DRIVE
 Location: KELLOWAY, BRITISH COLUMBIA
 Project No.: 2016

Drawing Title: PHASE 2 PARKING GARAGE LEVEL (-2)

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Project:	770 GLENMORE DRIVE
Location:	KELLOWAY, BRITISH COLUMBIA
Project No.:	2016
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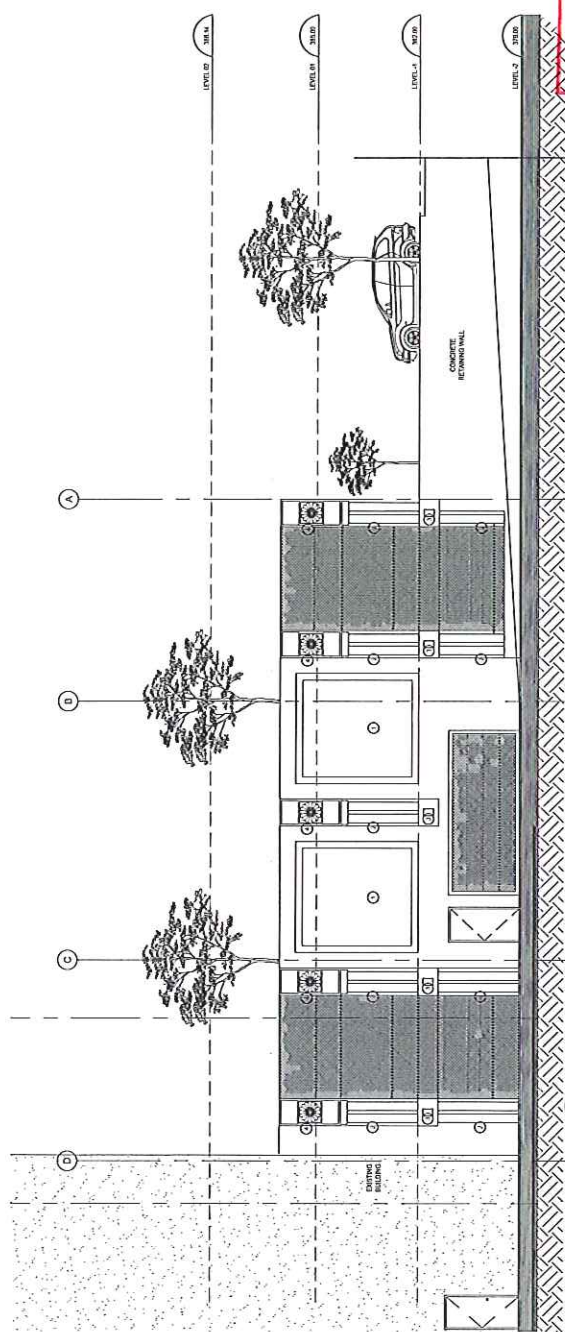


NOTES:

1. The architect shall provide the necessary information to the engineer for the preparation of the structural drawings.
2. The architect shall provide the necessary information to the engineer for the preparation of the mechanical drawings.
3. The architect shall provide the necessary information to the engineer for the preparation of the electrical drawings.
4. The architect shall provide the necessary information to the engineer for the preparation of the plumbing drawings.
5. The architect shall provide the necessary information to the engineer for the preparation of the fire protection drawings.
6. The architect shall provide the necessary information to the engineer for the preparation of the landscape drawings.
7. The architect shall provide the necessary information to the engineer for the preparation of the site plan drawings.
8. The architect shall provide the necessary information to the engineer for the preparation of the civil drawings.
9. The architect shall provide the necessary information to the engineer for the preparation of the other drawings.
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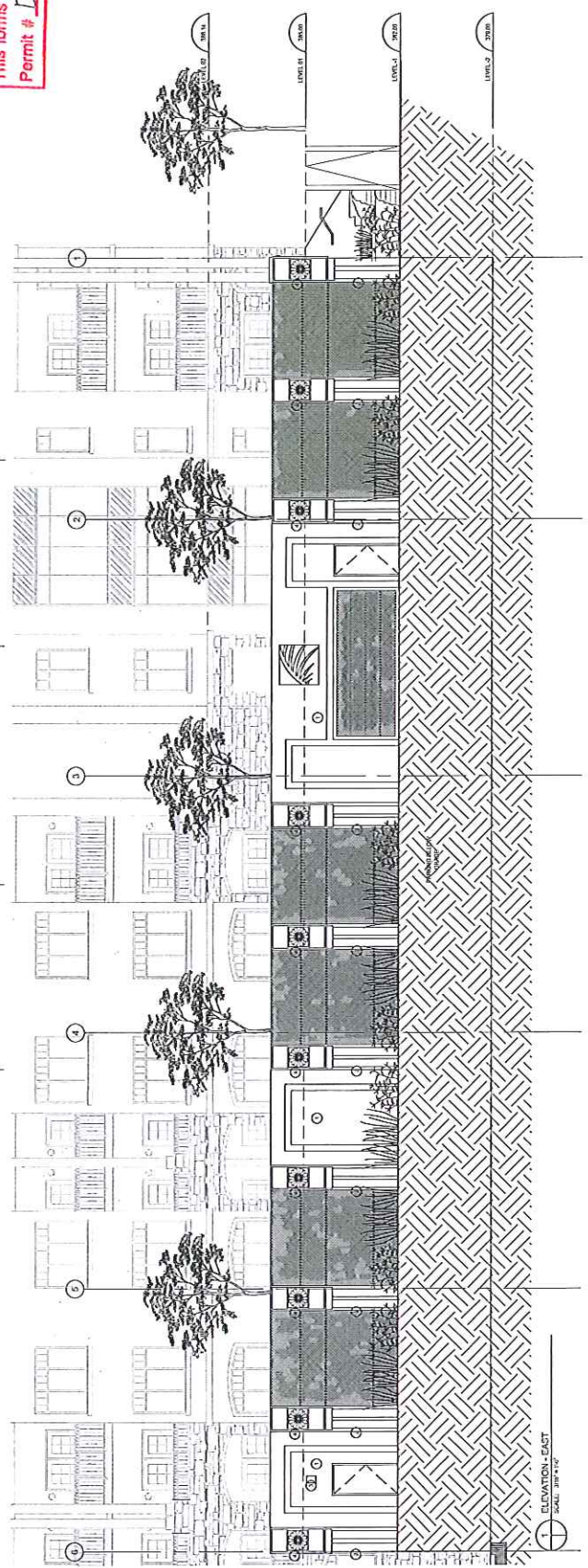
- (A) NOT completed. Features may be made without notes. Functions will be added.
- (B) Not based on the documents. New/added features. Reference previous sheets as they apply.
- (C) A verified revision. Reference sheets / figures from notes.
- (D) For Construction Progress.



SCHEDULE B 4
 This forms part of development
 Permit # DP11-0150

MATERIAL LEGEND:

- (A) PAINTED CONCRETE
- (B) PAINTED ROUND COLUMNS
- (C) ARCHITECTURAL METAL FINISHING
- (D) LIGHT FINISH
- (E) ORNAMENTAL ROSETTE

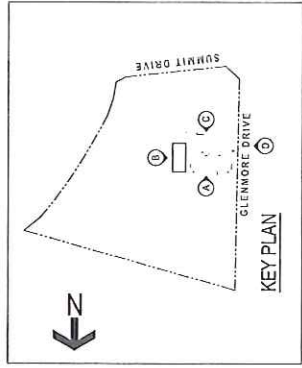


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 PHASE 2
 PARKING GARAGE
 ELEVATIONS

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SCHEDULE 'B'
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 Permit # DP11-0150

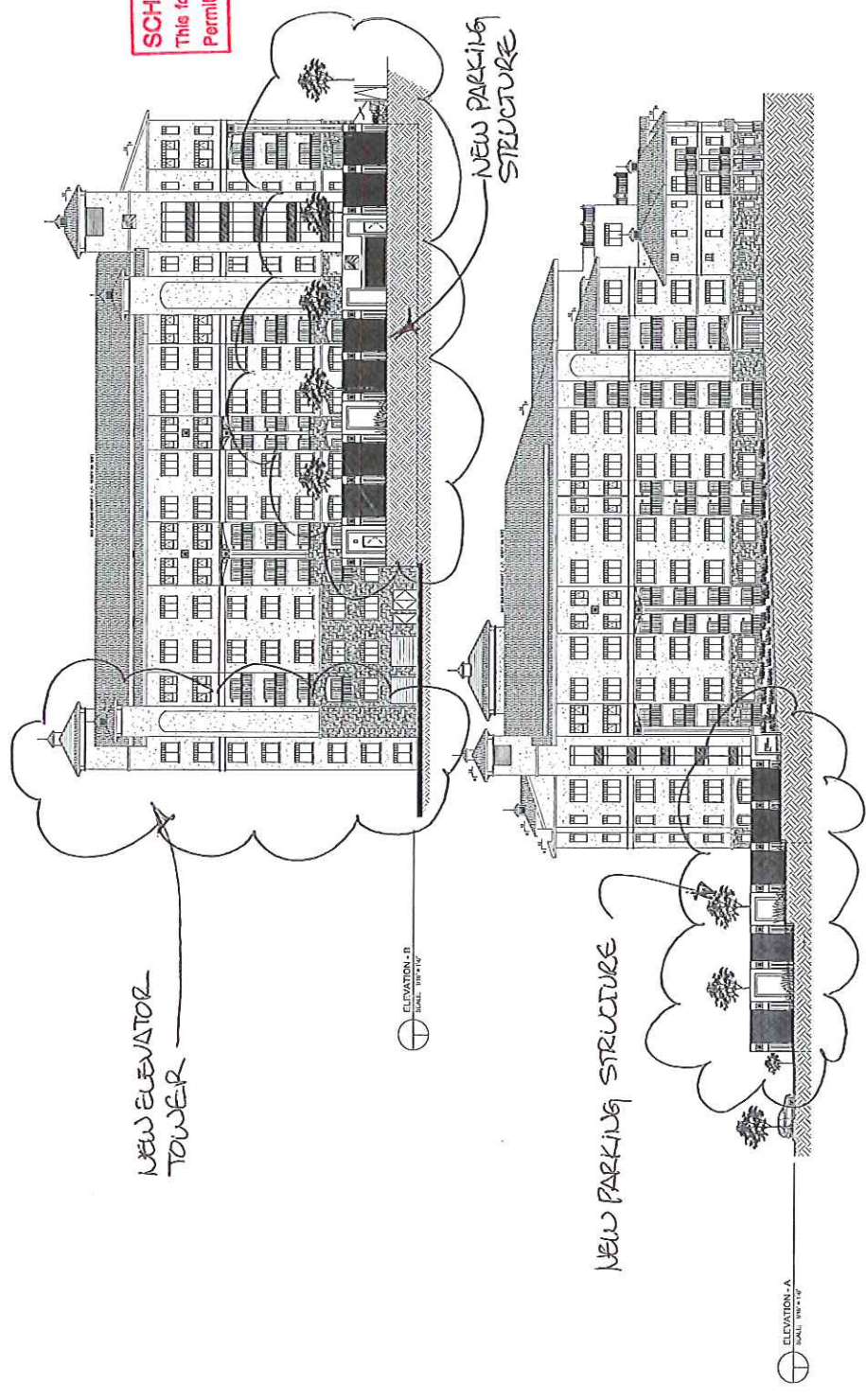
2011-03-27 ISSUED FOR BUILDING PERMIT
 2011-04-27 ISSUED FOR DEVELOPMENT PERMIT
 2011-05-04 ISSUED FOR FOUNDATION PERMIT
 No. 8, 9th
 Division



NEW TOWN
 ARCHITECTURE
 URBAN PLANNING
 1450 PARKROCK STREET
 GLENOWEA SC V1T 1P4
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Project Name: 773 GLENMORE DRIVE
 Location: KICLOWNA, BRITISH COLUMBIA
 Project No.: 2215
 Drawing Title: PHASE 2 ELEVATION CONTEXT
 Drawing No.: 01
 Date: 11/27/10
 Author: JCS
 Checker: JCS
 Approver: JCS

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 September 2, 2011 10:14 AM

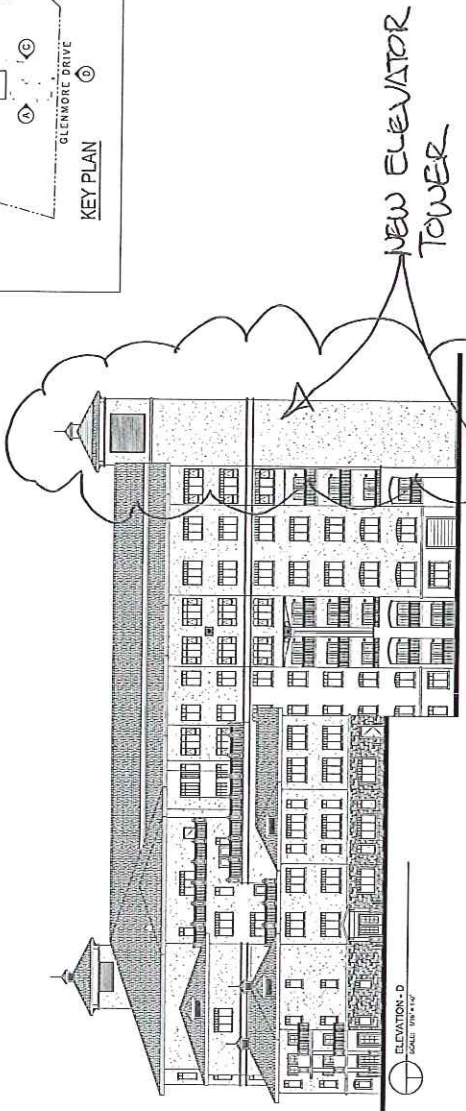
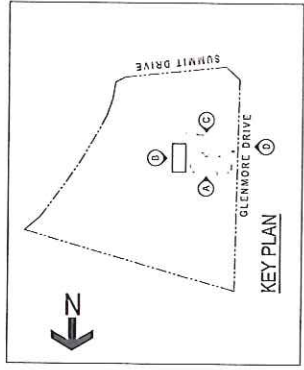


ELEVATION - A
 SCALE: 1/8" = 1'-0"

ELEVATION - D
 SCALE: 1/8" = 1'-0"

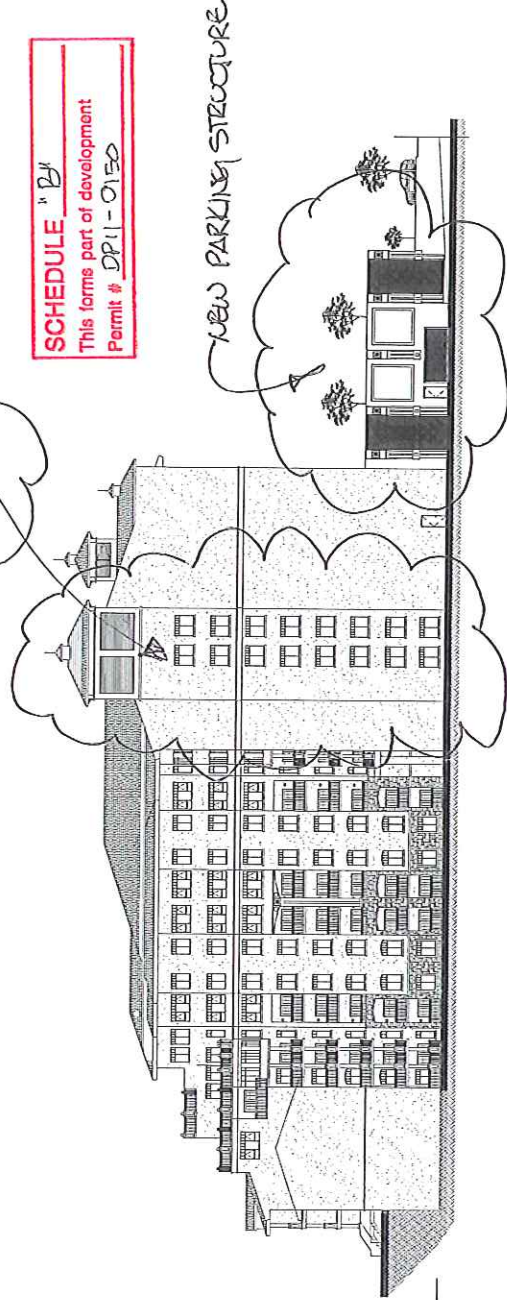
Notes:
 1. This drawing is a conceptual drawing and is not intended to be used for construction.
 2. All dimensions are approximate and subject to change without notice.
 3. The client is responsible for obtaining all necessary permits and approvals.
 4. The client is responsible for providing all necessary information and data.
 5. The client is responsible for providing all necessary information and data.
 6. The client is responsible for providing all necessary information and data.
 7. The client is responsible for providing all necessary information and data.
 8. The client is responsible for providing all necessary information and data.
 9. The client is responsible for providing all necessary information and data.
 10. The client is responsible for providing all necessary information and data.

Sheet	
This document is:	
<input checked="" type="checkbox"/> A. A conceptual drawing.	
<input type="checkbox"/> B. A preliminary drawing.	
<input type="checkbox"/> C. A final drawing.	
<input type="checkbox"/> D. A drawing for construction.	
<input type="checkbox"/> E. A drawing for construction.	
<input type="checkbox"/> F. A drawing for construction.	
<input type="checkbox"/> G. A drawing for construction.	
<input type="checkbox"/> H. A drawing for construction.	
<input type="checkbox"/> I. A drawing for construction.	
<input type="checkbox"/> J. A drawing for construction.	



NEW ELEVATOR
TOWER

SCHEDULE "B"
 This forms part of development
 Permit # DP11-0150



NEW PARKING STRUCTURE



NEW TOWN
 ARCHITECTURE
 URBAN PLANNING
 1438 PANDOSY STREET
 GLENOWA, BC V1V 1P5
 www.newtownarchitect.com

Project Name: 773 GLENMORE DRIVE
 Location: GLENOWA, BRITISH COLUMBIA
 Project No.: 20110
 Drawing Title: PHASE 2 ELEVATION CONTEXT
 Scale: 1/8" = 1'-0"

Author: PS
 Designer: PS
 Checker: PS
 Date: 10/11/11

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 September 2, 2011 10:27 AM

